CITY OF MAPLE RIDGE BYLAW NO. 7852-2022

A Bylaw to amend Schedule 'A' Zoning Map forming part of Zoning Bylaw No. 7600-2019, as amended

WHEREAS, it is deemed expedient to amend Maple Ridge Zoning Bylaw No. 7600-2019, as amended:

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

- 1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7852-2022."
- 2. Those parcels or tracts of land and premises known and described as:

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Lot 45 Section 16 Township 12 New Westminster District Plan 20770;
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Lot 46 Section 16 Township 12 New Westminster District Plan 20770;

Lot 47 Section 16 Township 12 New Westminster District Plan 20770;

Lot 48 Section 16 Township 12 New Westminster District Plan 20770; and

Lot 3 Section 16 Township 12 New Westminster District Plan 10361

and outlined in heavy black line on Map No. 1960 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-1 (Low Density Townhouse Residential) and R-2 (Single Detached (Medium Density) Urban Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019, as amended, and Map 'A' attached thereto are hereby amended accordingly.

READ a first time the 10th day of May, 2022.

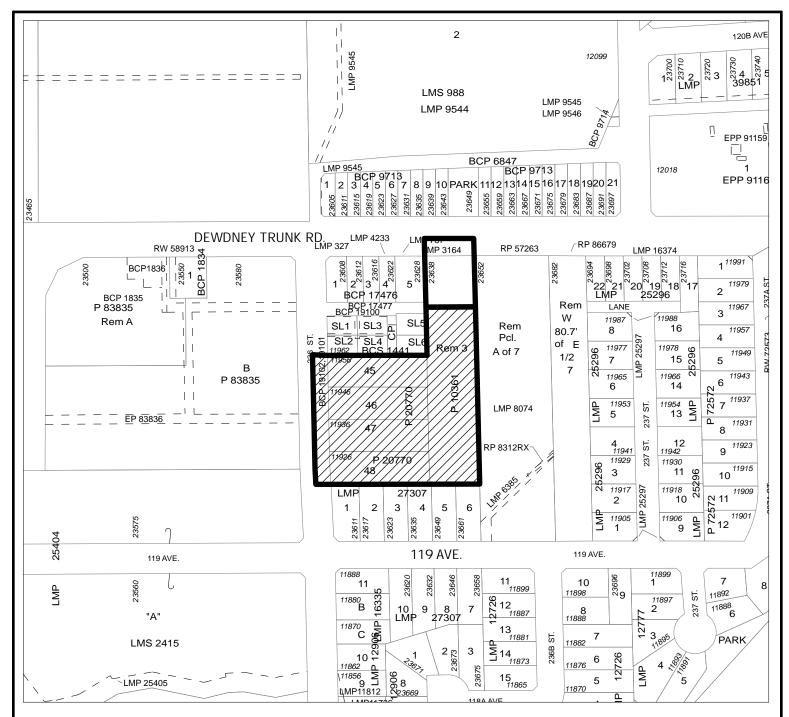
READ a second time the 5th day of September, 2023.

PUBLIC HEARING HELD the 17th day of October, 2023.

READ a third time the day of , 20.

ADOPTED the day of , 20.

PRESIDING MEMBER	CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No. 7852-2022

Map No. 1960

From: RS-3 Single Detached Rural Residential

To:

R-2 Single Detached (Medium Density) Urban Residential

RM-1 Low Density Townhouse Residential





MAPLE RIDGE British Columbia mapleridge.ca

REPORT FROM PREVIOUS MEETING

City of Maple Ridge

TO:

His Worship Mayor Dan Ruimy

MEETING DATE:

September 5, 2023

and Members of Council

FILE NO:

2022-034-RZ

FROM:

Chief Administrative Officer

MEETING:

CoW

SUBJECT:

Second Reading

Zone Amending Bylaw No. 7852-2022

11926, 11936, 11946, 11956 236 Street and 23638 Dewdney Trunk Road

EXECUTIVE SUMMARY:

An application has been received to rezone the subject properties located at 11926, 11936, 11946, 11956 236 Street and 23638 Dewdney Trunk Road (see Appendices A and B), from the RS-3 (Single Detached Rural Residential) zone to the RM-1 (Low Density Townhouse Residential) zone and the R-2 (Single Detached (Medium Density) Urban Residential) zone, to permit a future subdivision into one RM-1 lot and three R-2 lots and the future construction of a townhouse development with 52 market strata dwelling units. The units would be configured as 3-bedroom townhouses. The proposed development would involve lot consolidation and road dedication. The townhouse development proposes a density of 0.75 FSR (Floor Space Ratio) based on the proposed lot area excluding the three R-2 lots. It would include concealed parking, except for tandem and visitor parking, facing the interior of the subject property in order to improve the streetscape. Council granted first reading to *Zone Amending Bylaw No.* 7852-2022 (see Appendix C) on May 10, 2022.

This application is in compliance with the Official Community Plan (OCP).

Pursuant to Council Policy 6.31, this application is subject to the Community Amenity Contribution (CAC) Program at a rate of \$7,400.00 per townhouse dwelling unit and \$9,200.00 per single family lot, for an estimated amount of \$412,400.00, or such rate applicable at third reading of this application.

RECOMMENDATION:

- 1. That Zone Amending Bylaw No. 7852-2022 be given second reading, and be forwarded to Public Hearing;
- 2. That the following terms and conditions be met prior to final reading:
 - i) Registration of a Rezoning Servicing Agreement as a Restrictive Covenant and receipt of the deposit of a security, as outlined in the Agreement;
 - ii) Road dedication for the lane as required;
 - iii) Consolidation of the subject properties;
 - iv) Registration of a Restrictive Covenant for the Geotechnical Report, which addresses the suitability of the subject properties for the proposed development;

- Registration of a Restrictive Covenant for the protection of Visitor Parking; V)
- vi) Registration of a Restrictive Covenant for Stormwater Management;
- vii) Removal of existing buildings;
- viii) In addition to the Ministry of Environment Site Disclosure Statement, a disclosure statement must be submitted by a Professional Engineer advising whether there is any evidence of underground fuel storage tanks on the subject properties. If so, a Stage 1 Site Investigation Report is required to ensure that the subject property is not a contaminated site.
- ix) That a voluntary contribution, in the amount of \$412,400.00 (\$7,400.00 per townhouse dwelling unit and \$9,200.00 per single family lot), or such rate applicable at third reading of this application, be provided in keeping with the Council Policy 6.31 with regard to Community Amenity Contributions.
- X) That a voluntary contribution, in the amount of \$467,573.80 (\$344.46 per square metre (\$32.00 per square foot) for Floor Space Ratio (FSR) in excess of 0.6 FSR), be provided in keeping with the applicable Density Bonus contribution.

DISCUSSION:

Background Context:

Applicant: Kunwar Bir Singh

Legal Description: Lot 48 Section 16 Township 12 New Westminster District Plan

Lot 47 Section 16 Township 12 New Westminster District Plan

20770;

Lot 46 Section 16 Township 12 New Westminster District Plan

20770:

Lot 45 Section 16 Township 12 New Westminster District Plan

20770;

Lot 3 Except; Part Dedicated Road on Plan LMP3164; Section

16 Township 12 New Westminster District Plan 10361

OCP Designation:

Urban Residential Existing:

Proposed: Urban Residential

Yes Within Urban Area Boundary:

OCP Major Corridor: Yes

Zoning:

Existing: RS-3 (Single Detached Rural Residential)

Proposed: RM-1 (Low Density Townhouse Residential);

R-2 (Single Detached (Medium Density) Urban Residential)

Surrounding Uses:

North:

Use:

Single Detached Residential;

Townhouse Residential

Zone:

RS-3 (Single Detached (Intensive) Urban

Residential)

RM-1 (Low Density Townhouse Residential)

Designation:

Urban Residential

East:

Use:

Retail

Zone:

M-2 (General Industrial)

Designation:

Urban Residential

South:

Use:

Single Detached Residential

Zone:

RS-1b (Single Detached (Medium Density)

Residential)

Designation:

Urban Residential

West:

Use:

Single Detached Residential;

Townhouse Residential

Zone:

RM-1 (Low Density Townhouse Residential)

Designation:

Urban Residential

Use of Property:

Existing:

Single Detached Residential

Proposed:

Townhouse Residential; Single Detached Residential

Site Area:

Existing:

1.06 ha (2.6 acres)

Proposed:

1.03 ha (2.5 acres) (Including R-2 Lots); 0.93 ha (2.3 acres) (Excluding R-2 Lots)

Proposed Vehicular Accesses:

236 Street (R-1 Lot);

Future Lane Extension (R-2 Lots)

Fraser Sewer Area:

Yes

Flood Plain:

No

Relevant Applications:

2022-034-VP (Development Variance Permit);

2022-034-DP (Multi-Family Development Permit);

2022-034-SD (Subdivision)

b) Site Characteristics:

The subject properties are located on 236 Street and Dewdney Trunk Road and have a total site area of 1.06 ha (2.6 acres) (see Appendices A and B). They have a few trees and are relatively flat. The subject properties are bounded by townhouse residential to the north, retail to the east, single detached residential to the south, and single detached residential and townhouse residential to the west. To the north, there is Dewdney Trunk Road with single detached residential across the road. To the west, there is 236 Street with townhouse residential across the road, and a lane extending from 236 Street. The subject properties have four single detached residences and accessory buildings/structures on them with vehicular accesses from 236 Street and Dewdney Trunk Road.

c) Project Description:

The applicant is proposing to rezone and subdivide the subject properties into one RM-1 (Low Density Townhouse Residential) lot and three R-2 (Single Detached (Medium Density) Urban Residential) lots and construct a townhouse development with 52 market strata dwelling units. The units would be configured as 3-bedroom townhouses. The proposed development would include concealed parking, except for tandem and visitor parking, facing the interior of the subject property in order to improve the streetscape and create a more urban form of development. The applicant is proposing to have vehicular access for the townhouse development (RM-1 lot) from 236 Street and vehicular access for the single detached residences (R-2 lots) from the future lane extension.

The proposed development would involve lot consolidation and road dedication. The proposed townhouse development would have a gross floor area of 6,912.5 m² (74,406.0 ft²) as calculated under the City's Zoning Bylaw. The density would be 0.75 FSR based on the proposed lot area excluding the three R-2 lots. The proposed townhouse development utilizes the proposed RM-1 (Low Density Townhouse Residential) zone's base allowable density of 0.6 FSR and additional density of 0.15 FSR through a density bonus for a cash contribution at a rate of \$344.46 per square metre (\$32.00 per square foot) for an estimated \$467,573.80.

d) Planning Analysis:

Official Community Plan:

The subject properties currently designated *Urban Residential*. The designation supports the proposed development under the RS-3 (Single Detached Rural Residential) zone to the RM-1 (Low Density Townhouse Residential) zone and the R-2 (Single Detached (Medium Density) Urban Residential) zone.

Zoning Bylaw and Off-Street Parking and Loading Bylaw:

The current application proposes to rezone the subject properties located at 11926, 11936, 11946, 11956 236 Street and 23638 Dewdney Trunk Road, from the RS-3 (Single Detached Rural Residential) zone to the RM-1 (Low Density Townhouse Residential) zone and the R-2 (Single Detached (Medium Density) Urban Residential) zone (see Appendix C), to permit a future subdivision into one RM-1 lot and three R-2 lots and the future construction of a townhouse development (see Appendices D and E).

2022-034-RZ Page 4 of 10

Parking Requirements:

In terms of off-street parking, there are 115 spaces required and 117 spaces proposed. The proposed off-street parking would entail 2.25 parking spaces per unit (including visitor parking spaces). Long-term (residential) bicycle storage would be provided inside individual units and 8 short-term (visitor) bicycle parking spaces are proposed. Required and proposed parking are as per the table below.

Category	Number of Parking Spaces	Variance
	Parking Spaces	
Residential	52 units x 2 spaces = 104.0 spaces	
Required	104 residential parking spaces	
Proposed	104 residential parking spaces	No
Visitors	52 units x 0.2 spaces = 10.4 spaces	
Required	11 visitor parking spaces	
Proposed	13 visitor parking spaces	No (Surplus of 2)
Total Required	115 parking spaces	
Total Proposed	117 parking spaces	
Accessible (2 spaces required)	Including 2 accessible spaces	No
Long-Te	rm (Residential) Bicycle Parking Spaces	
Proposed	Storage provided inside individual units	·
, Short-	Term (Visitor) Bicycle Parking Spaces	
Proposed	8 short-term bicycle parking spaces	

Common Open Area, Outdoor Amenity Area, Private Outdoor Area, and Permeability Requirements:

The proposed development meets common open area, outdoor amenity area, private outdoor area, and permeable area requirements. Required and proposed amounts are as per the table below.

Category	Amount of Area	Variance
Common Open Area (Inc	cludes Outdoor Amenity Area and Priva	te Outdoor Area)
Townhouses, 3+ Bedrooms	52 units x 45.0 m^2 = 2,340.0 m^2	
Required	2,340.0 m ² of common open area	
Proposed	2,730.9 m ² of common open area	No
	Outdoor Amenity Area	
Townhouses	$52 \text{ units x } 5.0 \text{ m}^2 = 260.0 \text{ m}^2$	
Required	260.0 m ² of outdoor amenity area	
Proposed	515.5 m ² of outdoor amenity area	No
	Private Outdoor Area	
Dwelling Units		
Required	5.0% of dwelling unit	
Proposed	Minimum 5.0% of dwelling unit	No
	Indoor Amenity Area	
Townhouses, 50+ Units	52 units x 3 m^2 = 156.0 m^2	
Required	156.0 m ² of indoor amenity area	
Proposed	185.0 m ² of indoor amenity area	No
	Permeable Area	
Townhouses		
Required	40% of proposed lot area	
Proposed	52.9% of proposed lot area	No
·		

2022-034-RZ Page 5 of 10

Proposed Variances:

The following variances will be required:

Off-Street Parking Design Variances:

Section 4.1 of the City's Off-Street Parking and Loading Bylaw requires townhouse units in the RM-1 zone with an enclosed double-car parking garage, in a side-by-side configuration, to have internal finished dimensions of not less than 6.5 m in width and 6.7 m in length. The applicant is seeking a variance to have internal finished dimensions of 5.81 m in width and 6.08 m in length.

Section 4.1 of the City's Off-Street Parking and Loading Bylaw requires townhouse units in the RM-1 zone with an enclosed single-car parking garage, in a tandem configuration, to have an internal finished dimension of not less 3.7 m in width and 6.7 m in length. The applicant is seeking a variance to have internal finished dimensions of 3.68 m and 6.07 m in length.

Section 4.1 of the City's Off-Street Parking and Loading Bylaw requires maneuvering aisles of not less than 7.0 m in width for concealed parking with a parking angle of 90 degrees. The applicant is seeking a variance to have a maneuvering aisle of 6.0 m in width.

Council Policy 6.35 notes that Council desires that no more than 30% of townhouse dwelling units in a proposed townhouse development have a tandem parking garage. 35% of townhouse dwelling units in the proposed townhouse development have a tandem parking garage. A variance is not required as the relevant RM-1 zone requirement indicates that the maximum percentage of townhouse dwelling units in a proposed townhouse development with a tandem parking garage is 50%.

Setback Variances:

Setback	Principal Buildings (Section 617.7.2)	Building Projections (Section 403.2.4)
Front Lot Line (Western)		
Required Proposed	6.0 m 4.5 m	4.75 m 3.13 m
Rear Lot Line (Eastern)		
Required Proposed	7.5 m 5.65 m	6.25 m 5.02 m (No Variance)
Interior Side Lot Line (Northern)		
Required Proposed	7.5 m 2.91 m	6.9 m N/A (No Variance)
Interior Side Lot Line (Southern)		
Required Proposed	7.5 m 4.45 m	6.9 m 5.11 m (No Variance)
Exterior Side Lot Line (Northern)		
Required Proposed	7.5 m 1.87 m	6.25 m N/A (No Variance)

2022-034-RZ Page 6 of 10

Maximum Building Height Variance:

Section 617.8.1 of the City's Zoning Bylaw limits maximum building height to 9.5 m for townhouse residential principal buildings. The applicant is seeking a variance to have a maximum building height of 11.13 m.

Development Permit:

Pursuant to Section 8.7 of the OCP, a Multi-Family Development Permit is required to ensure the current proposal enhances existing neighbourhoods with compatible housing styles that meet diverse needs, and minimize potential conflicts with neighbouring land uses.

The following is a brief description and assessment of the proposal's compliance with the applicable Key Guideline Concepts:

- 1. "New development into established areas should respect private spaces, and incorporate local neighbourhood elements in building form, height, architectural features and massing."
 - Staff Comment: The proposed townhouse development would respect the privacy of adjacent residential areas. It includes privacy fences along the northern, southern, and western lot lines. The building form, massing, height, and architectural features are consistent with the local neighbourhood.
- 2. "Transitional development should be used to bridge areas of low and high densities, through means such as stepped building heights, or low rise ground oriented housing located to the periphery of higher density developments."
 - Staff Comment: The proposed townhouse development has an appropriate density. It will blend in with the townhouse residences to the north and west, the proposed single detached residences to the north, and the existing single detached residences to the south.
- 3. "Large scale developments should be clustered and given architectural separation to foster a sense of community, and improve visual attractiveness."
 - Staff Comment: The proposed townhouse development provides architectural separation through centrally located amenity areas (indoor and outdoor) to foster a sense of community and improve visual attractiveness.
- 4. "Pedestrian circulation should be encouraged with attractive streetscapes attained through landscaping, architectural details, appropriate lighting and by directing parking underground where possible or away from public view through screened parking structures or surface parking located to the rear of the property."
 - Staff Comment: The proposed townhouse development encourages pedestrian circulation through attractive streetscapes and internal pedestrian connections with appropriate lighting. Parking is generally concealed and located away from public view.

Advisory Design Panel:

The application was reviewed by the Advisory Design Panel (ADP) at the May 17, 2023 meeting and their resolution/comments and the applicant's response can be seen in Appendix F. As per the ADP resolution from that meeting, the application was reviewed again by the ADP, with revised plans and

2022-034-RZ Page 7 of 10

the applicant's response, at the July 19, 2023 meeting. It was resolved that the application meets recommendations as presented and that the applicant should proceed to Council (see Appendix F).

A detailed description of the project's form and character will be included in a future Development Permit report to Council.

Development Information Meeting:

A Development Information Meeting hosted by the applicant was held at Alexander Robinson Elementary School on March 14, 2023. 32 people attended the event. The notification requirements for the Development Information Meeting include a mail-out, newspaper advertisements, and notice on the development signs that provides the contact information for the developer and information on the development.

A summary of the main comments and discussions with the attendees at the Development Information Meeting was provided by the applicant (see Appendix G) and includes the following main points:

- General support for a new and well-designed townhouse development providing additional housing
- Suggestions to include additional off-street parking and/or discourage residential use of onstreet parking
- Suggestions for a traffic light at the intersection of 236 Street and Dewdney Trunk Road
- Suggestions for a traffic light or 4-way stop at the intersection of 236 Street and 119 Avenue

On March 30, 2023, after the Development Information Meeting, a petition with 248 signatures was received by the City with regard to the proposed development and a separate nearby proposed development in relation to the property located at 23682 Dewdney Trunk Road. In accordance with Council Policy 3.13, the petition was brought to the Council meeting on April 25, 2023 and includes the following main points:

- Concerns over emergency access for the proposed development
 - Staff Comment: The proposed development includes an emergency access, with removable bollards, from the lane. The Engineering Department notes that the surrounding roads are constructed to meet the City's Design Criteria Manual, which was developed with support from the Fire Department, and are suitable for fire response now and with the development of the subject properties. The Fire Department reviewed the site plan and has no outstanding concerns.
- Concerns over density and traffic congestion/safety and suggestions to require permits for on-street parking
 - Staff Comment: In terms of density, the proposed density is within what the (RM-1 (Low Density Townhouse Residential) zone supports and the RM-1 zone is supported by the current Urban Residential land use designation.
 - Staff Comment: In terms of traffic congestion/safety, the Engineering Department notes that 119 Avenue is not at capacity and that a 4-way stop at the intersection of 236 Street and 119 Avenue, a traffic light at the intersection of 236 Street and Dewdney Trunk Road, and a 3-way stop at the intersection of Cottonwood Drive and 119 Avenue are not warranted based on the Transportation Association of Canada's warrant assessment guidelines to assess intersection control measures. Adequate sightlines for the main access to the proposed development will be required during the detailed design phase.
 - O Staff Comment: In terms of permits for on-street parking, the Engineering Department notes that, while the City has Legislative Policy 9.09 (Resident-Exemption and Resident-Only Parking), resident-only parking is reserved for areas

2022-034-RZ Page 8 of 10

of high parking demand such as hospitals and transportation or commercial hubs where non-resident vehicles can take up limited on-street parking. The policy is not to be used to re-allocate a public resource between neighbours. The intent is that on-street parking would be utilized on a first-come, first-serve basis.

- Concerns over elementary and secondary schools at capacity
 - Staff Comment: See comments regarding the school district in the following section.

e) Interdepartmental/External Implications:

Engineering Department:

- The Engineering Department has indicated that road dedication and frontage/servicing upgrades through the Rezoning Servicing Agreement will be required.
 - Road dedication as required to meet the design criteria of Subdivision and Development Servicing Bylaw No. 4800-1993, as amended.
 - Frontage upgrades to the applicable road standard.
 - Utility servicing as required to meet the design criteria of Subdivision and Development Servicing Bylaw No. 4800-1993, as amended.

Fire Department:

 The applicant was provided with comments from the Fire Department about matters to be addressed through the Building Permit process.

Building Department:

 The applicant was provided with comments from the Building Department about matters to be addressed through the Building Permit process.

School District:

- School District No. 42 provided comments on the proposed development (see Appendix H).
- The proposed development would affect the student population for the catchment areas currently served by Alexander Robinson Elementary and Garibaldi Secondary School.
- Alexander Robinson Elementary has an operating capacity of 471 students. For the 2022-2023 school year, the student enrollment at Alexander Robinson is 539 students (114% utilization) including 146 students from out of catchment.
- Garibaldi Secondary School has an operating capacity of 1050 students. For the 2022-2023 school year, the student enrollment at Garibaldi Secondary School is 971 students (93% utilization) including 267 students from out of catchment.
- Based on the density estimates for the various land uses at build out, the following would apply:
 - o For the proposed 52-unit townhouse development, the estimated number of schoolage residents is 22.
 - For the proposed 3 single detached residences, the estimated number of school-age residents is 2.

2022-034-RZ Page 9 of 10

CONCLUSION:

It is recommended that second reading be given to Zone Amending Bylaw No. 7852-2022 and that application 2022-034-RZ be forwarded to Public Hearing.

"Original Signed by Daniel Rajasooriar"

Prepared by: Daniel Rajasooriar, MRM
Planner

"Original Signed by Charles R. Goddard"

"Original Signed by Scott Hartman"

Approved by: Charles R. Goddard, BA, MA
Director of Planning

Concurrence: Scott Hartman
Chief Administrative Officer

The following appendices are attached hereto:

Appendix A - Subject Map

Appendix B - Ortho Map

Appendix C - Zone Amending Bylaw No. 7852-2022

Appendix D - Proposed Architectural Plans

Appendix E - Proposed Landscape Plans

Appendix F - ADP Resolutions/Comments and Applicant Response

Appendix G - Development Information Meeting Summary

Appendix H - School District No. 42 Comments





Scale: 1:2,500

Existing Trails

Active Applications (RZ/SD/DP/VP)

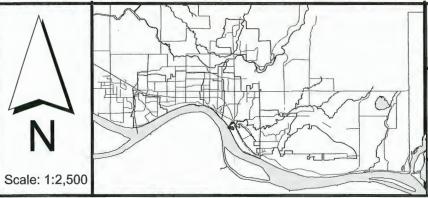
Municipal Park

ACTIVE DEVELOPMENT IN AREA



FILE: 2022-034-RZ DATE: Aug 18, 2023





11926-11956 236 STREET & 23638 DEWDNEY TRUNK ROAD ORTHO

PLANNING DEPARTMENT



mapleridge.ca

FILE: 2022-034-RZ DATE: Aug 18, 2023

BY: DT

CITY OF MAPLE RIDGE BYLAW NO. 7852-2022

A Bylaw to amend Schedule 'A' Zoning Map forming part of Zoning Bylaw No. 7600-2019, as amended

WHEREAS,	it is	deemed	expedient	to	amend	Maple	Ridge	Zoning I	Bylaw No.	7600-2019	∍, as
amended;											

NOW THEREFORE, the Municipal Council of the City of Maple Ridge enacts as follows:

- 1. This Bylaw may be cited as "Maple Ridge Zone Amending Bylaw No. 7852-2022."
- 2. Those parcels or tracts of land and premises known and described as:

Lot 45 Section 16 Township 12 New Westminster District Plan 20770;

Lot 46 Section 16 Township 12 New Westminster District Plan 20770;

Lot 47 Section 16 Township 12 New Westminster District Plan 20770;

Lot 48 Section 16 Township 12 New Westminster District Plan 20770; and

Lot 3 Section 16 Township 12 New Westminster District Plan 10361

and outlined in heavy black line on Map No. 1960 a copy of which is attached hereto and forms part of this Bylaw, are hereby rezoned to RM-1 (Low Density Townhouse Residential) and R-2 (Single Detached (Medium Density) Urban Residential).

3. Maple Ridge Zoning Bylaw No. 7600-2019, as amended, and Map 'A' attached thereto are hereby amended accordingly.

READ a first time the 10th day of May, 2022.

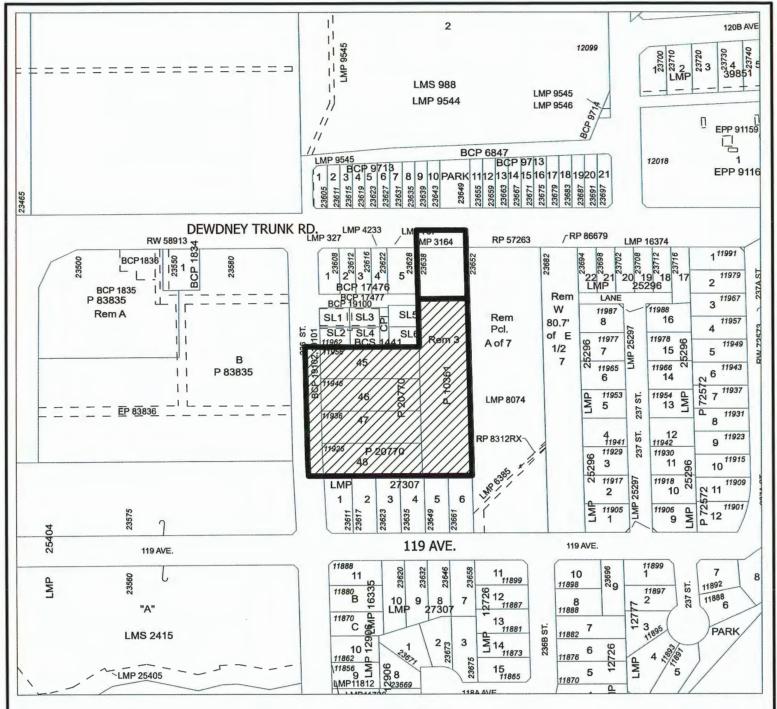
READ a second time the day of , 20.

PUBLIC HEARING HELD the day of , 20.

READ a third time the day of , 20.

ADOPTED the day of , 20.

PRESIDING MEMBER CORPORATE OFFICER



MAPLE RIDGE ZONE AMENDING

Bylaw No.

7852-2022

Map No.

1960

From:

RS-3 Single Detached Rural Residential

To:

R-2 Single Detached (Medium Density) Urban Residential

RM-1 Low Density Townhouse Residential









Kaslan Architec

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	N/ DRAWING ISSUE

PODLET CALLED



23638 TOWNHOUSES

23638,DEWDNEY TRUNK RD,MAPLE RIDGE, B.C.CANADA

DRAMING TITLE

3D VIEW FROM 2

DRAWING ESTUE

DP SUBMISSION

722067 PLOT DATE 18-08-202

ADP-0.

APPENDIX D





Kaslan Architec

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2	2022 SEP 27	ISSUED FOR OP SURMISSION	
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23638 TOWNHOUSES

23638,DEWDNEY TRUNK RD,MAPLE RIDGE, B.C.CANADA

DRAMING TITLE

3D VIEW ADP-0.20

DRAWING ESUE

DP SUBMISSION

PROJECT NO.	PLOT DATE 18-08-2023	DRAMN	кт
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DRAWING NO.	ADD 0.20	2	REVISION

ADP-0.20 4





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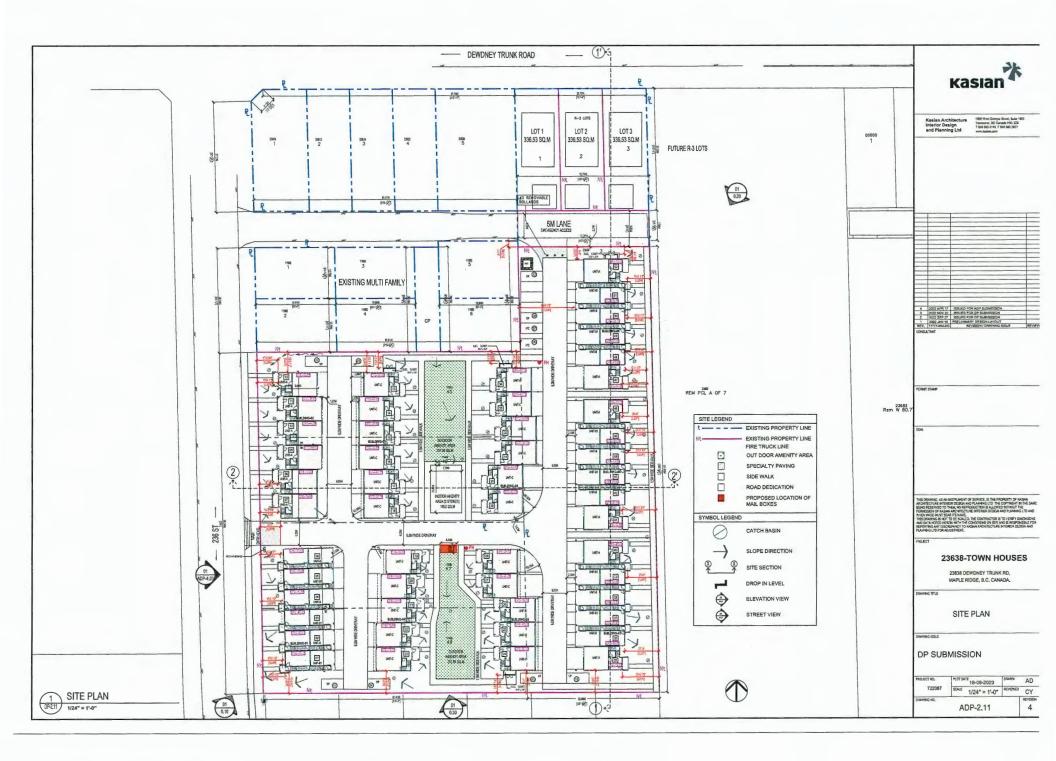
23638 TOWNHOUSES

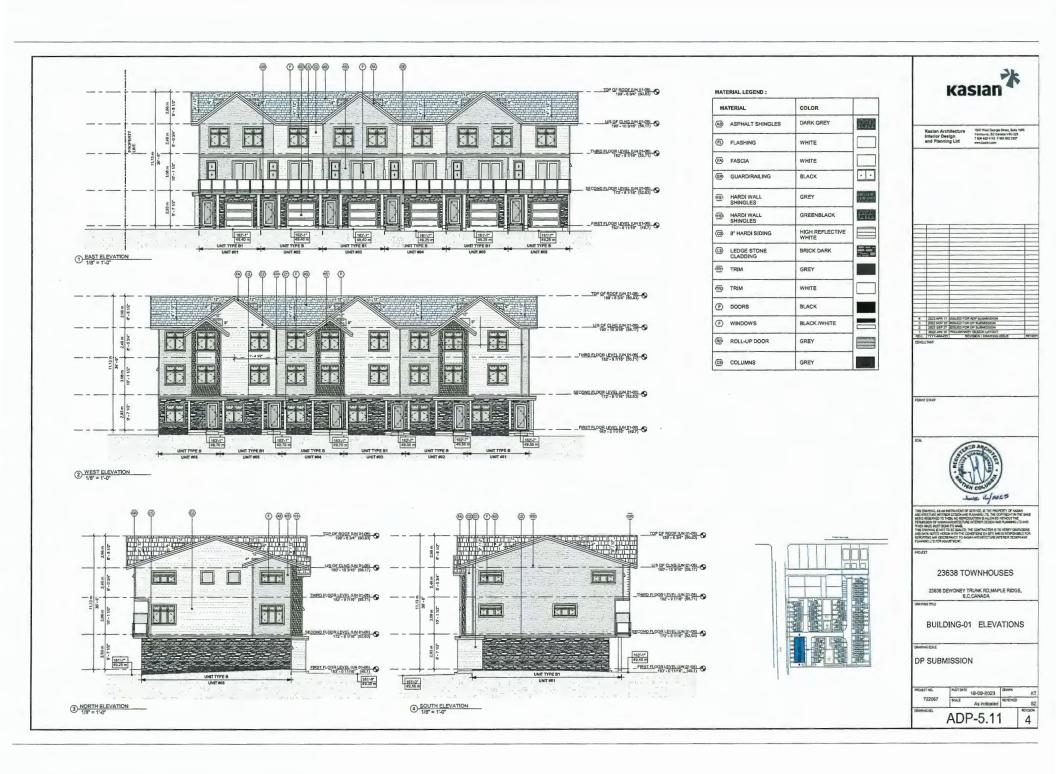
23638,DEWDNEY TRUNK RD,MAPLE RIDGE, B.C.CANADA

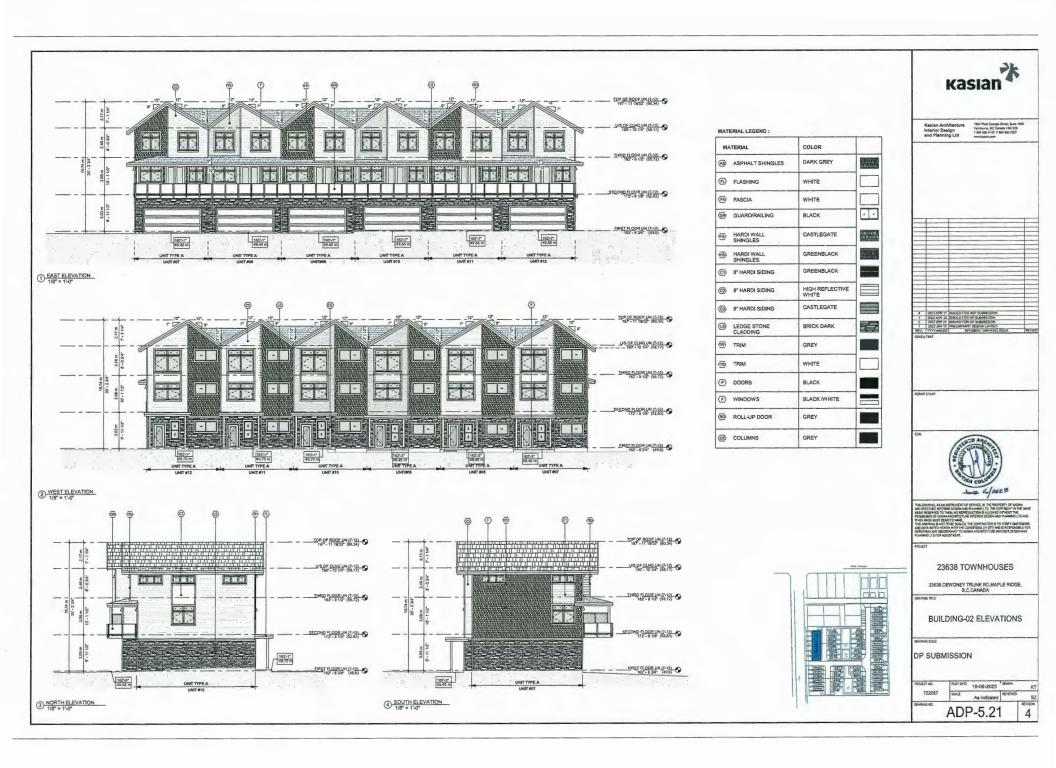
3D VIEW ADP-0.30

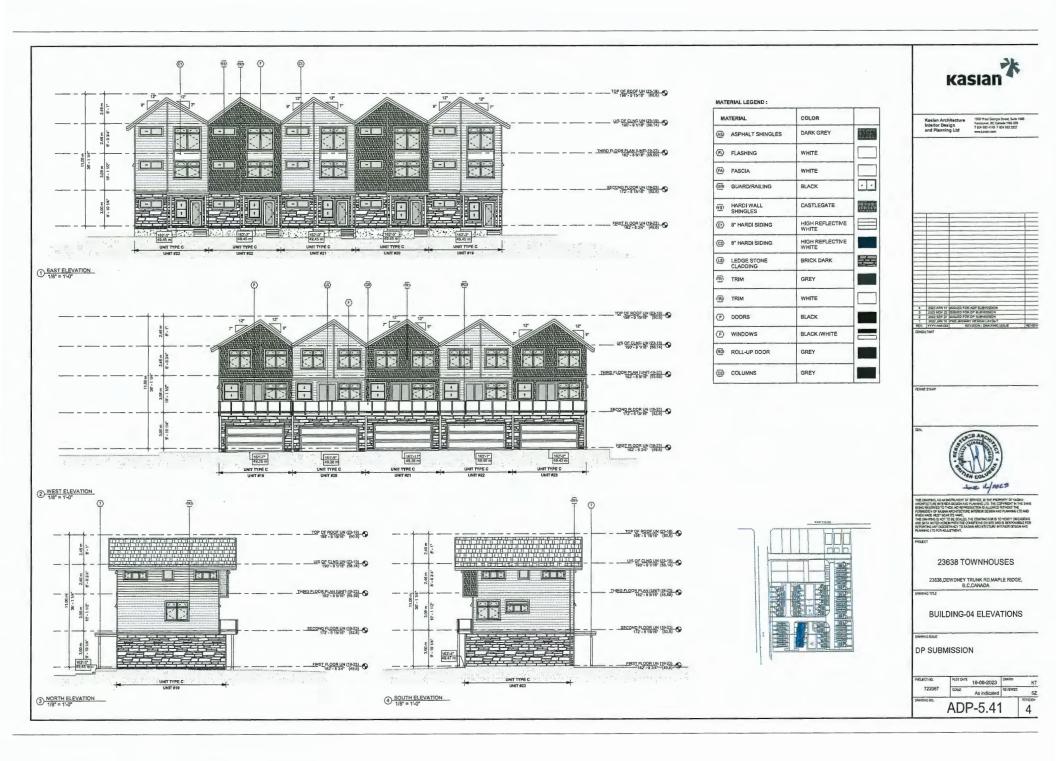
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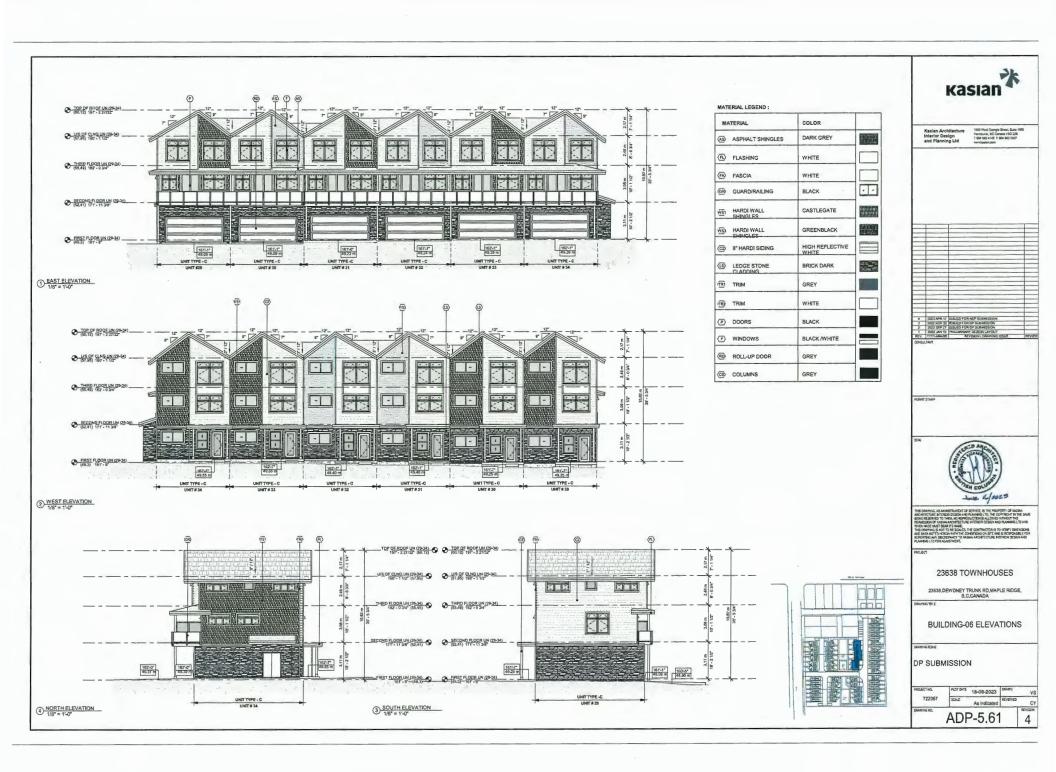
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722067	SCALE	REVENED	SZ
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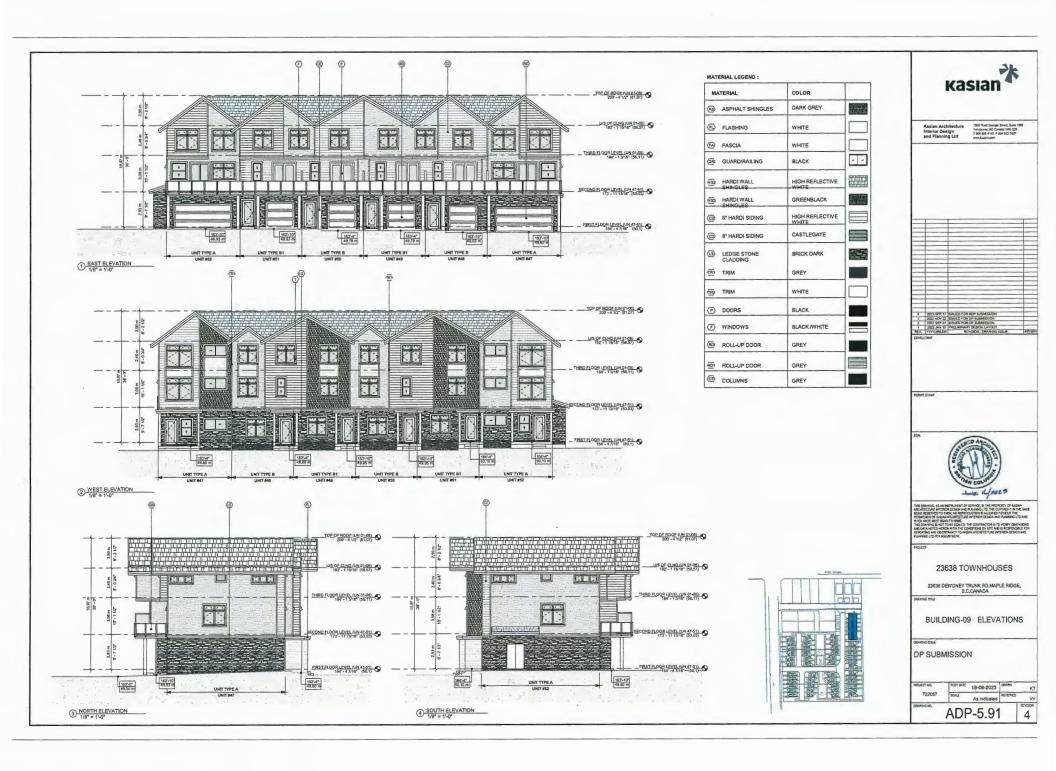


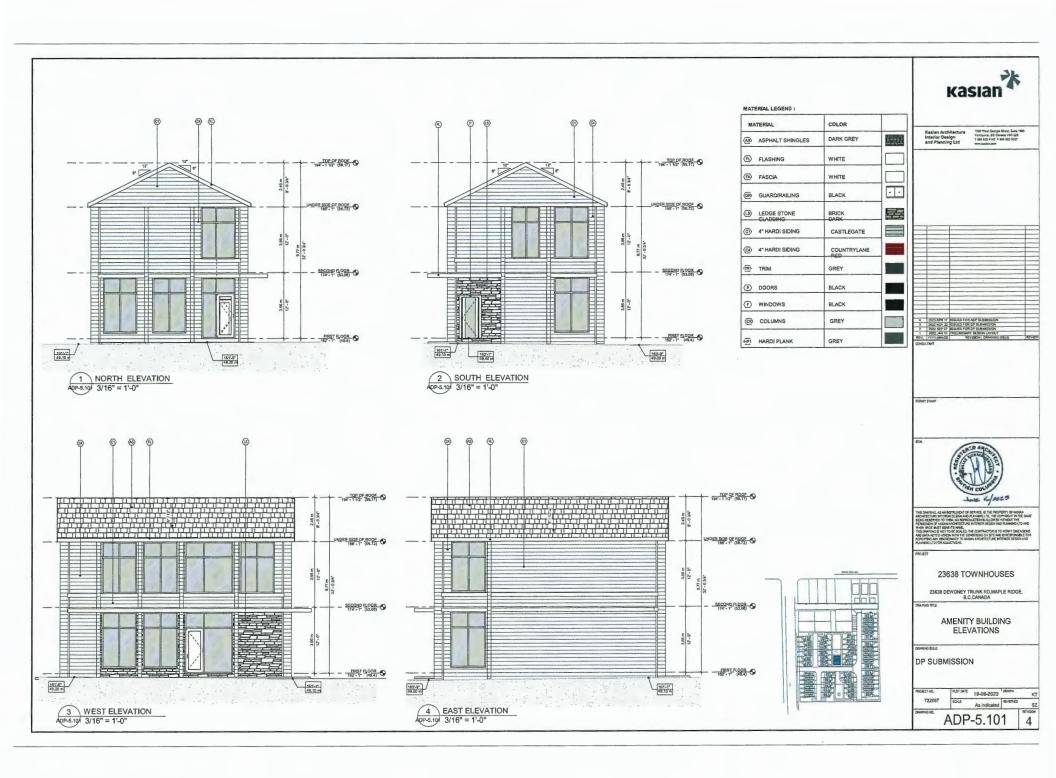












3 NORTH COLORED ELEVATION

4 SOUTH COLORED ELEVATION
1/8" = 1'-0"





2 WEST COLORED ELEVATION
1/8" = 1'-0"



1/8" = 1'-0"





MA	ATERIAL	COLOR	
(AS)	ASPHALT SHINGLES	DARK GREY	
(FL)	FLASHING	WHITE	
(FA)	FASCIA	WHITE	
(GR)	GUARD/RAILING	BLACK	
₩S1	HARDI WALL SHINGLES	GREY	13033410 341451-0
₩£3	HARDI WALL SHINGLES	GREENBLACK	
@	8" HARDI SIDING	HIGH REFLECTIVE WHITE	
(LS)	LEDGE STONE CLADDING	BRICK DARK	墨
®	TRIM	GREY	
Ē2	TRIM	WHITE	
P	DOORS	BLACK	
F	WINDOWS	BLACK/WHITE	
(RD)	ROLL-UP DOOR	GREY	
(E)	COLUMNS	GREY	

MATERIAL LEGEND:

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23638 TOWNHOUSES

23638 DEWDNEY TRUNK RD, MAPLE RIDGE, B,C,CANADA

BUILDING-01 COLORED ELEVATIONS

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1/8" = 1'-0"



2 WEST COLORED ELEVATION
1/8" = 1'-0"

3 SOUTH COLORED ELEVATION
1/8" = 1'-0"



NORTH COLORED ELEVATION

1/8* = 1'-0"



MATERIAL LEGEND:

MA	TERIAL	COLOR	
(AS)	ASPHALT SHINGLES	DARK GREY	
(E)	FLASHING	WHITE	
(FA)	FASCIA	WHITE	
(GR)	GUARD/RAILING	BLACK	
W <u>6</u> 1	HARDI WALL SHINGLES	CASTLEGATE	10,010
ws3	HARDI WALL SHINGLES	GREENBLACK	
(1)	8" HARDI SIDING	GREENBLACK	
© 2	8" HARDI SIDING	HIGH REFLECTIVE WHITE	
<u>@</u>	8" HARDI SIDING	CASTLEGATE	
ß	LEDGE STONE CLADDING	BRICK DARK	重
®	TRIM	GREY	
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P	DOORS	BLACK	
E	WINDOWS	BLACK /WHITE	
(RD)	ROLL-UP DOOR	GREY	
Œ	COLUMNS	GREY	



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23638 TOWNHOUSES

23638,DEWDNEY TRUNK RD,MAPLE RIDGE, B.C,CANADA

BUILDING-02 COLORED ELEVATION

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1/8" = 1'-0"



② WEST COLORED ELEVATION 1/8" = 1'-0"

3 SOUTH COLORED ELEVATION
1/6" = 1'-0"







MATERIAL LEGEND:

MATERIAL	COLOR	
(AS) ASPHALT SHINGLES	DARK GREY	jug
FLASHING	WHITE	
FA FASCIA	WHITE	
G GUARD/RAILING	BLACK	
WS1 HARDI WALL SHINGLES	CASTLEGATE	15 B 10 B
(E) 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
8" HARDI SIDING	HIGH REFLECTIVE WHITE	
LEDGE STONE CLADDING	BRICK DARK	=
® TRIM	GREY	
® TRIM	WHITE	
P DOORS	BLACK	
F WINDOWS	BLACK/WHITE	
® ROLL-UP DOOR	GREY	
© COLUMNS	GREY	



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BUILDING-04 COLORED ELEVATION

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1/8" = 1'-0"



@ WEST COLORED ELEVATION 1/8" = 1'-0"

3 NORTH COLORED ELEVATION

1/8" = 1'-0"



4 SOUTH COLORED ELEVATION



MATERIAL LEGEND :

MA	ATERIAL	COLOR	
(AS)	ASPHALT SHINGLES	DARK GREY	
(FL)	FLASHING	WHITE	
(FA)	FASCIA	WHITE	
@	GUARD/RAILING	BLACK	
WS1	HARDI WALL SHINGLES	CASTLEGATE	dinistra parketi
E3W	HARDI WALL SHINGLES	GREENBLACK	
@	8" HARDI SIDING	HIGH REFLECTIVE WHITE	
(IS)	LEDGE STONE CLADDING	BRICK DARK	1000
æ	TRIM	GREY	1
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P	DOORS	BLACK	
F	WINDOWS	BLACK /WHITE	
(RD)	ROLL-UP DOOR	GREY	
(E)	COLUMNS	GREY	



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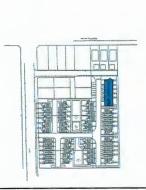
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1/8" = 1'-0"



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MATERIAL	COLOR	
ASPHALT SHINGLES	DARK GREY	
FLASHING	WHITE	
FA FASCIA	WHITE	
@ GUARD/RAILING	BLACK	•
HARDI WALL	HIGH REFLECTIVE WHITE	
HARDI WALL	GREENBLACK	
② 8" HARDI SIDING	HIGH REFLECTIVE WHITE	
(3) 8° HARDI SIDING	CASTLEGATE	
LEDGE STONE CLADDING	BRICK DARK	
® TRIM	GREY	
TRIM	WHITE	
P DOORS	BLACK	
F WINDOWS	BLACK /WHITE	
® ROLL-UP DOOR	GREY	
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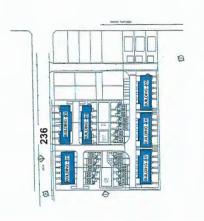
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STREET SCAPE VIEW

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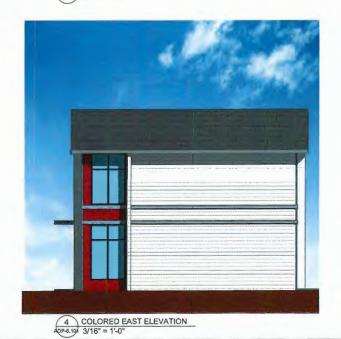
1 COLORED NORTH ELEVATION APP-6.194 3/16" = 1'-0"



3 COLORED WEST ELEVATION ADP-6.104 3/16" = 1'-0"



2 COLOURED SOUTH ELEVATION
ADP-6.104 3/16" = 1'-0"



MATERIAL	COLOR	
ASPHALT SHINGLES	DARK GREY	
(E) FLASHING	WHITE	
A FASCIA	WHITE	
@ GUARD/RAILING	BLACK	
LEDGE STONE	BRICK	墨
4* HARDI SIDING	CASTLEGATE	
4" HARDI SIDING	COUNTRYLANE	
TRIM	GREY	
P DOORS	BLACK	
(F) WINDOWS	BLACK	
COLUMNS (S)	CREY	

MATERIAL LEGEND :





23638 TOWNHOUSES

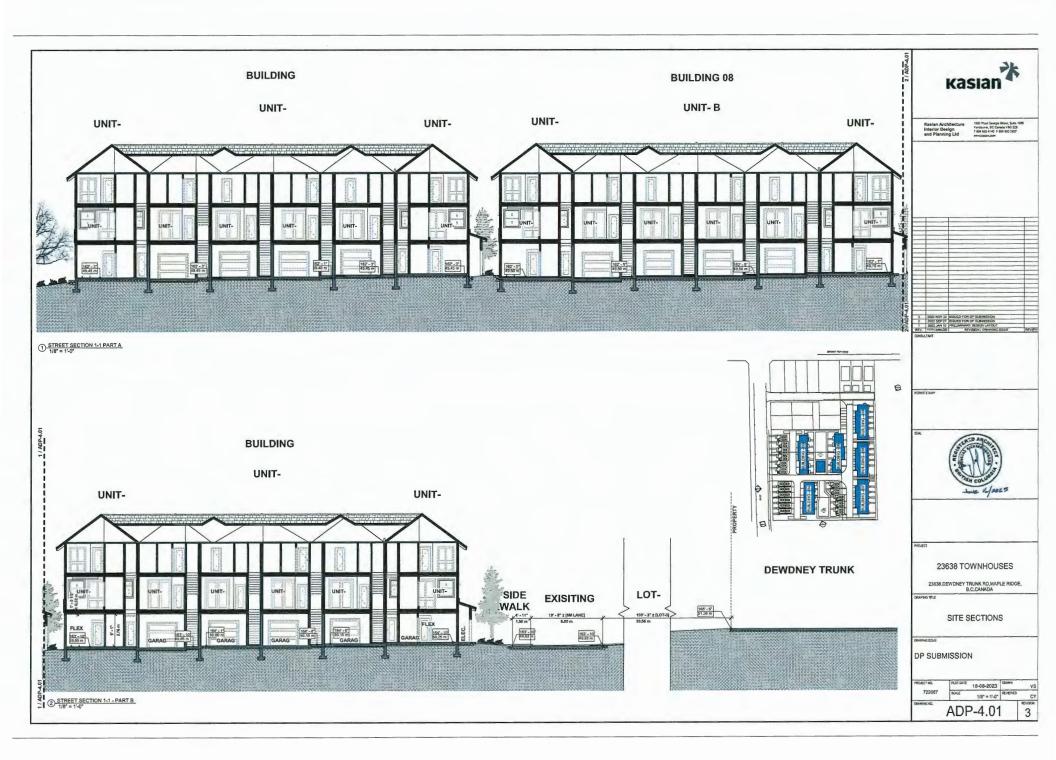
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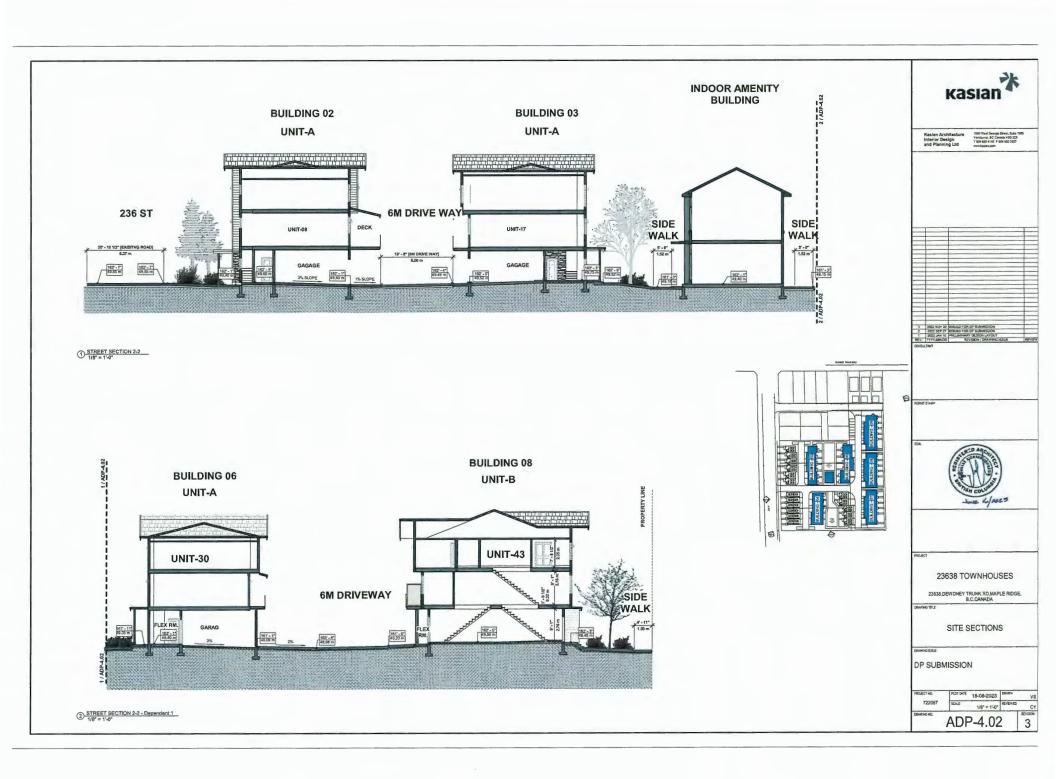
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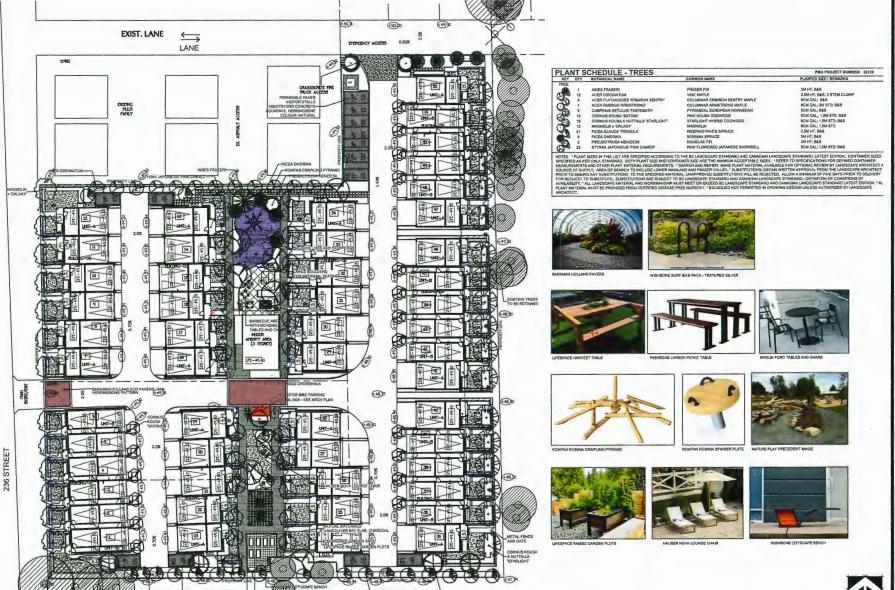
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23638 DEWDNEY TRUNK ROAD MAPLE RIDGE

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 22.5EP.13

SCALE: 1:250

DRAWN: MC

DESIGN: MC

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APPENDIX E



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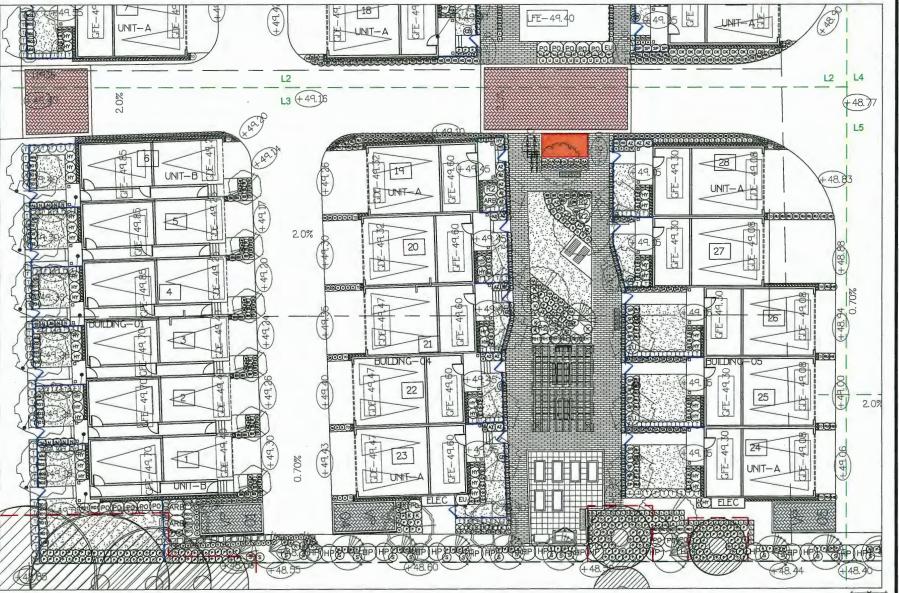
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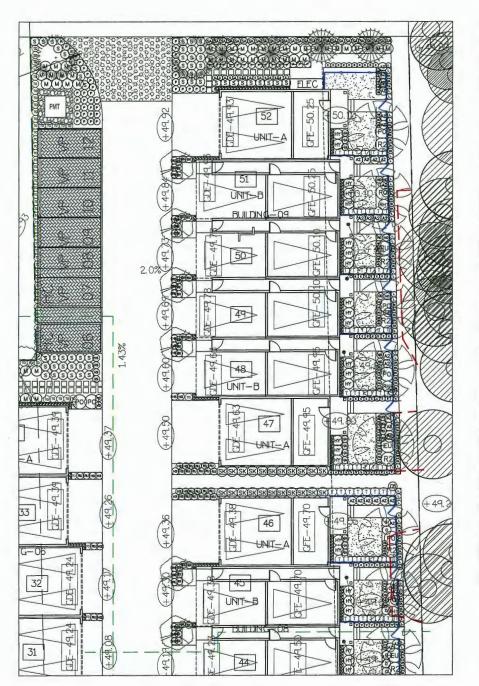
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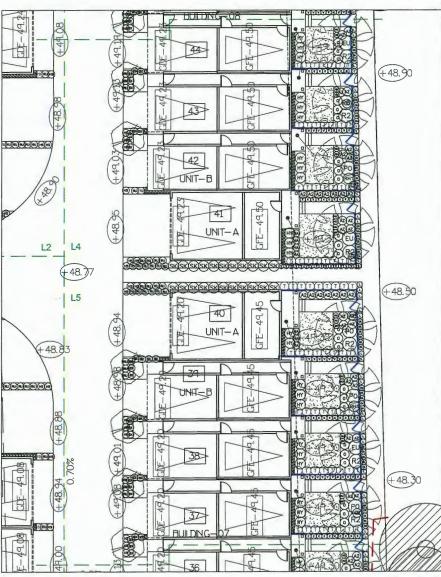
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RAWING TITLE:

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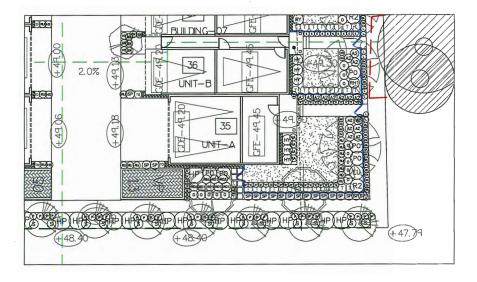
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BASILE WICHDRYLLA WITTER GEW	SHRUB				
BASILE WICHDRYLLA WITTER GEW	₽	6	ARBUTUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#7 POT 1,25M
BASILE WICHDRYLLA WITTER GEW	7	86	AZALEA JAPONICA 'HINO CRIMSON'	AZALEA; HARDY RED	#2 POT; 25CM
1	3	40	AZALEA JAPONICA 'PURPLE SPLENDOUR'	AZALEA; RED-VIDLET	#2 POT; 25CM
1	4	92	BUXUS MICROPHYLLA WINTER GEMT	LITTLE-LEAF BOX	#2 POT; 25CM
312 CAPEC OSHMENSIS EVERICOLD	\$P	11	CORNUS SERICEA KELSEYT	DWARF KELSEY DDGWOOD	#3 POT; 60CM
312 CAPEC OSHMENSIS EVERICOLD	7	11	ELIONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT: 50CM
312 CAPEC OSHMENSIS EVERICOLD	2	128	HYDRANGEA LITTLE LIME	LITTLE LIME HYDRANGEA	#2 POT
312 CAPEC OSHMENSIS EVERICOLD		30	HYDRANGEA PANICULATA WIM'S RED'	FIRE & ICE HYDRANGEA	#3 POT; 80CM
312 CAPEC OSHMENSIS EVERICOLD	4		KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT; 50CM
312 CAPEC OSHMENSIS EVERICOLD	*	123	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT; 50CM
312 CAPEC OSHMENSIS EVERICOLD	(NANDINA DOMESTICA 'FIREPOWER'	FIREFOWER HEAVENLY BAMBOO	#2 POT: 40CM
312 CAPEC OSHMENSIS EVERICOLD	1				
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18 ECHNACEA PURPUREA PROCULAD" FURRILE CONST. CHYER - CH. PRMK 15CM POT	(O)	elai.	PERMOCION ON MINISTER	Unitaries i Curioni Civido	
1			ECHINACEA PLIBPLIBEA 'PICCOLINO'	PURPLE CONFF. OWER - DK. PINK	15CM POT
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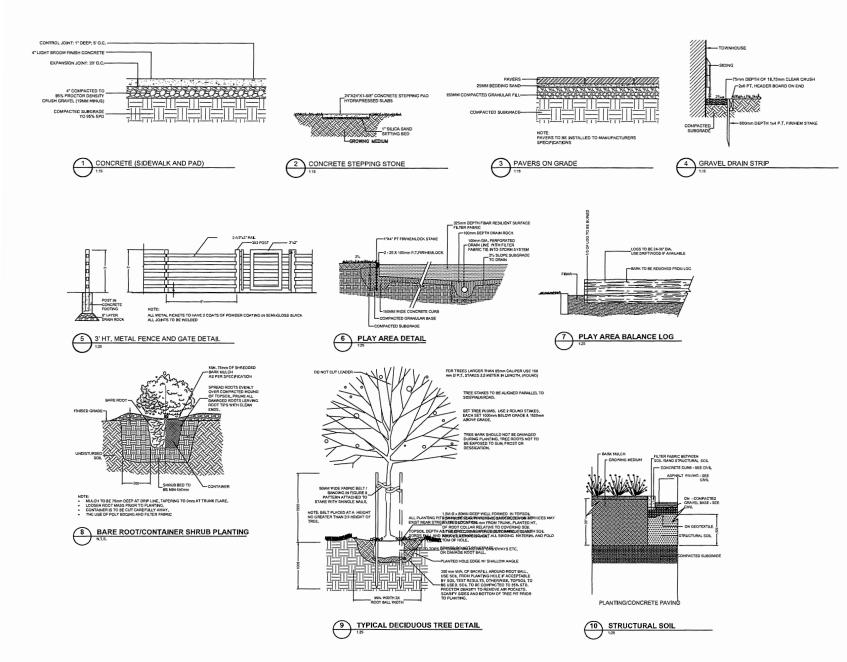
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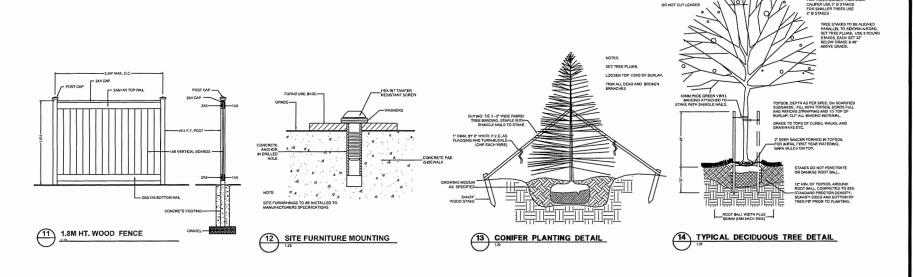
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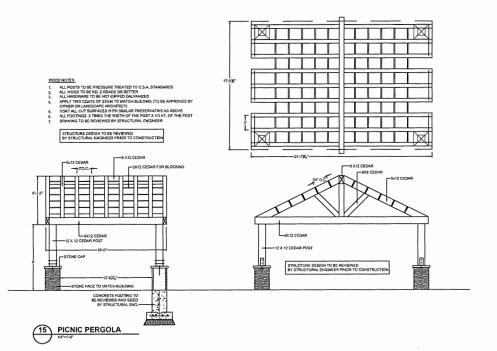
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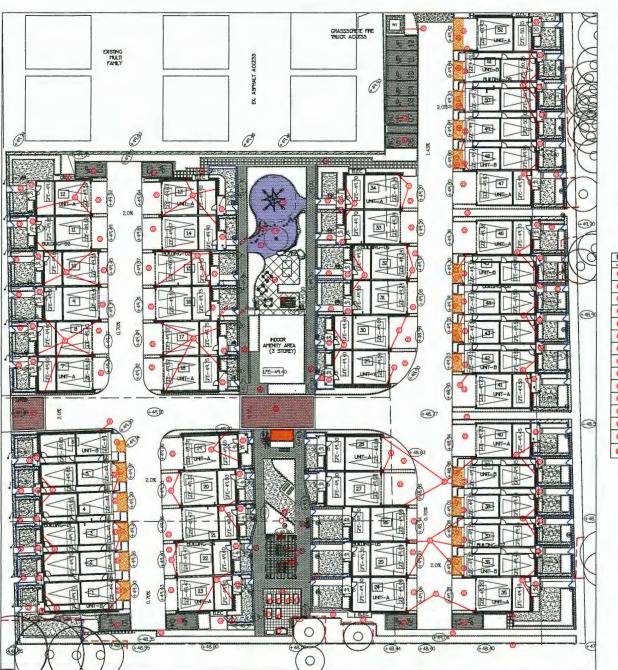
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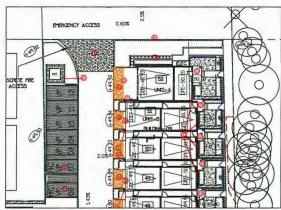
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@		BARKKAN HOLLAND PAYERS: GRAPHITE, RUNNING BOND	0			SURF 5 BIKE RACK SELVER, SURFACE MOUNT
®		BARKMAN HOLLAND PAYERS, SIERRA CREY MERRINGBONE PATTERN	0	-	WISHBONE	CITYSCAPE BENCH-TEXTURED SILVER
0	-	BARKMAN HOLLAND ECO PAVERS; TAN HERRINGBONE PATTERN	0	-	LIFESPACE	HARVEST TABLE
0		CONCRETE PAVEMENT FINISH: SAW CUT; BROOM FINISH COLOUR NATURAL	0		TEXTURED	LARSON PICNIC TABLE SLIVER, SAND SLATS, SURFACE MOUNT
(9)		RIVER ROCK / DRAIN STRIP	0	11	1700 SER £5	D TABLE AND CHAIRS - ROUND FRN 1, SILVER 14 COLOUR
(F)		FIBAR SAFETY SURFACE	0	-	HAUSER N	OVA LOUNGE CHAIR
0	\$30X	SOD LAWN	0		LIFESPACE	RAISED GARDEN PLOTS
0	\boxtimes	BROOM FINISH CONCRETE - SCORED WITH 1,2M D.C PATTERN	0		CEDARSHE	D INDUSTRIES - BAYSIDE DOUBLE DOOR
0		GRASS PAVE 2	0		CATTOOOR IN	
0	0000	BARKMAN TERRACE SLABS - 010 X 010 MM	6		-	PING PONG TABLE - 510 M CROSSOVER
®		1.0M HT. WOOD FENCE			COMMELEND	FING FONG TABLE - STOM CROSSOTER
0	~	METAL FENCE AND GATE COLOUR BLACK	0			CUSTOM TRELLIS WOOD - 25'X17'
0	_	PRIVACY SCREEN				STAINED - BENJAMIN MOORE ARBOURCOAT SOLID STAIN STORMY CREY
0	***	JOIN CEPTH OF STRUCTURAL SOIL				
8		MUTUAL MATERIALS VANCOUVER BAY SLAB; CHARCOAL				
	-		LIGHT	E EUDNI	THEFT	ECEND DIAV

KEY	SYMBOL	DESCRIPTION
1		STEPPERS & BALANCE LOGS
©	\odot	KOMPAN SPINNER PLATE
1	米	KOMPAN CRAWLING PYRAMID



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> LANDSCAPE ARCHITECTS
>
> Suite C100 - 4185 Sill Creek Drive
> Burnsby, British Columbie, VSc 6424-0022

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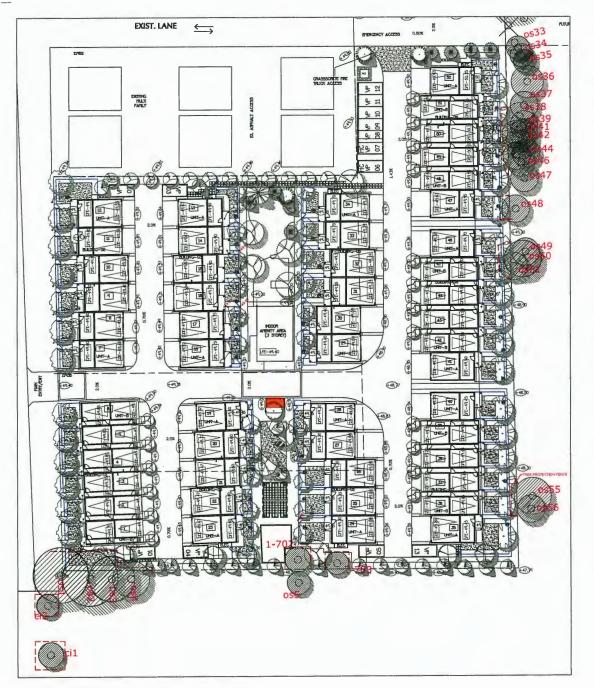
52 UNIT TOWNHOUSE DEVELOPMENT

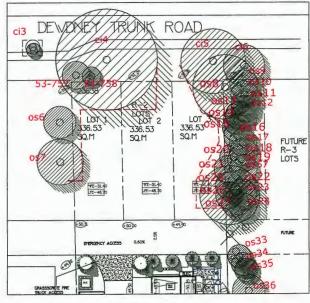
23638 DEWDNEY TRUNK ROAD MAPLE RIDGE

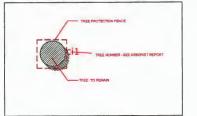
DRAWING TITLE:

LANDSCAPE MATERIALS PLAN

DATE 22.5F2.13 DRAWING NUMBER
SCALE: 1200
GRAWINE MC
DESIGN: MC
CHKID: MCY
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LANDSCAPE ARCHITECTS Suite C100 - 4185 Still Creek Drive

Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, V5C 6G9 p: 604 294-0011 ; f: 604 294-0022

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ALVAIR DEVELOPMENTS LTI

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52 UNIT TOWNHOUSE DEVELOPMENT

23638 DEWDNEY TRUNK ROAD MAPLE RIDGE

DRAWING TITLE:

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TREE MANAGEMENT PLAN

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City of Maple Ridge

Advisory Design Panel Resolutions/Comments

Application 2022-034-RZ was reviewed by the Advisory Design Panel (ADP) at the May 17, 2023 meeting. As per the ADP resolution from that meeting, the application was reviewed again by the ADP, with revised plans and the applicant's response, at the July 19, 2023. The following are the resolutions/comments:

May 17, 2023 - R/2023-ADP-016

It was moved and seconded

That the following concerns be addressed and digital versions of revised drawings & memo be submitted to Planning staff; and further the Planning staff forward this on to the Advisory Design Panel for information.

Architectural Comments:

- Consider enclosing the entry canopies (utilized as unheated entry vestibules) at tandem units to allow for less congestion at unit entrances.
- Consider the relationship between the peaked townhouse roofs and the flat entrance canopies. Ensure architectural language work congruently between each mass.
- Consider further design development for exterior cladding at the amenity space building.
- Consider reexamining unconventional massing alignment that is unbalanced and creates unevenness with the shape of the roof.
- Consider articulation of exterior composition and functionality of space inside the amenity building.
- Suggest avoiding converging roof pitches on flat valleys.
- The use of asymmetric pitch roof lines is successful. Consider introducing a similar configuration on Buildings 07, 08 & 09 for design cohesiveness.
- Buildings 01 through 06, have a pleasant colour and material façade composition that is aligned with the roof ridges and valleys. Suggest introducing a similar configuration on Buildings 07, 08 & 09
- Suggest using a more contemporary architectural language on the amenity building (i.e. flat roof) and introducing additional architectural features (i.e. accent colours, wood soffits, etc...) in order to provide differentiation from residential buildings.

Landscape Comments:

- In general, it looks like a well-designed project from a landscape perspective. Nice work
 with the strong central spine of amenity spaces connected by the raised paver section
 in the lane.
- Carry on with infiltration type stormwater management interventions, provided the Geotech investigation shows the ground will percolate.
- Consider an alternative location for the PMT to allow for a pedestrian connection towards the amenity area. Suggested North of visitor parking spaces by the Emergency Access.

CARRIED UNAMINOUSLY

July 19, 2023 - R/2023-ADP-025

It was moved and seconded

That the application meets recommendations as presented and the applicant proceed to Council.

CARRIED UNAMINOUSLY

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD

1500 West Georgia Street

Suite 1685 Vancouver British Columbia Canada V6G 2Z6 t 604 683 4145 f 604 683 2827

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IAN SINCLAIR MHA, CHE

Vancouver Victoria Calgary Edmonton Toronto Doha June 12, 2023

Daniel Rajasooriar City of Maple Ridge 11995 Haney Place Maple Ridge, BC Canada V2X 6A9

Re. 2022-034RZ 11926-236 St Maple Ridge ADP Response

Please find a point by point response to the comments received from the ADP:

Architectural Comments:

Consider enclosing the entry canopies (utilized as unheated entry vestibules) at tandem units to allow for less congestion at unit entrances.

Response: Entries have been enclosed with canopies.

Consider the relationship between the peaked townhouse roofs and the flat entrance canopies. Ensure architectural language work congruently between each mass.

Response: Complies

Consider further design development for exterior cladding at the amenity space building.

Response: Amenity building has been updated

Consider reexamining unconventional massing alignment that is unbalanced and creates unevenness with the shape of the roof.

Response: Roofs have been updated

Consider articulation of exterior composition and functionality of space inside the amenity building.

Response: Amenity building has been updated

Suggest avoiding converging roof pitches on flat valleys.

Response: Roofs have been updated

The use of asymmetric pitch roof lines is successful. Consider introducing a similar configuration on Buildings 07, 08 & 09 for design cohesiveness.

Response: BUILDING 07, 08 & 09 updated

Buildings 01 through 06, have a pleasant colour and material façade composition that is aligned with the roof ridges and valleys. Suggest introducing a similar configuration on Buildings 07, 08 & 09

Response: BUILDING 07, 08 & 09 updated

Suggest using a more contemporary architectural language on the amenity building (i.e. flat roof) and introducing additional architectural features (i.e. accent colours, wood soffits, etc...) in order to provide differentiation from residential buildings.

Response: Amenity building has been updated





Landscape Comments:

In general, it looks like a well-designed project from a landscape perspective. Nice work with the strong central spine of amenity spaces connected by the raised paver section in the lane.

Response: Noted

Carry on with infiltration type stormwater management interventions, provided the Geotech investigation shows the ground will percolate.

Response: Noted

Consider an alternative location for the PMT to allow for a pedestrian connection towards the amenity area. Suggested North of visitor parking spaces by the Emergency Access.

Response: Plan has been updated to show the PMT in that location

We note that we have also co-ordinated a location for the Mailboxes in accordance with comments received from Canada Post.

* INV

Yours truly

Doug Johnson Architect ABC

Memorandum

Date:

March 17, 2023

To:

Maple Ridge Planning Department - Attention Rene Tardif

Subject:

Development Information Meeting Rezoning Application 2022-034-RZ

Dear Rene, we are pleased to provide this report regarding the results of the Development Information Meeting for this project that took place on March 14th, 2023. This report is being provided in accordance with the City's policy for a Development Information Meeting.

A. Mailouts, Signage and Ads

A letter was mailed out to residents surrounding the project as per City policy on February 28th. An ad was placed in the Maple Ridge news which ran in the March 3rd and March 10th print editions. A decal was placed on the sign in accordance with the City Policy. See Appendix A for copies of the letter and the ad.

B. Number of Respondents via email or calls

We confirm that a total of 2 inquiries received via email, 1 prior to the meeting date and 1 on the day of the meeting.

, a member of the Senior	s Co-Op located across the street from the proposed development
wrote to express concern about access	to and from their development on 236 th Street during
construction.	also attended the meeting in person and filled out a comment
sheet.	



Copies of the original email correspondence received is included in Appendix B to this report.

C. Attendees at Development Information Meeting

A development information meeting was held at Alexander Robinson Elementary at 11849 238b Street in Maple Ridge, BC from 5:00pm to 7:00pm on March 14th. Representatives from Alvair attended as well as the project architect, Kasian Architecture.

There were 32 attendees from the public that visited the meeting to review the materials on display and attend the presentation on the plan from the Architect. Please see Appendix C for a copy of the sign-in sheet and Appendix D for the materials that were presented at the meeting.

D. Summary of Comments received

There were a total of 21 comment forms received from the meeting. A brief summary of the comments received is outlined below and the fulsome copy of all of the comments received is included herein as Appendix E.

Residents from St. George that were present showed concerns for getting on Dewdney trunk rd from 236 street. Most People wanted streetlights on 236 and Dewdney and 4 way stop on 119 St and 236 Street.

A lot of comments were in support of the development as well and were excited about new construction in the neighbourhood for younger people.

A lot of young people showed up as well, they were looking for place to move in the area which are living there as tenants.

Supporting the Proposal – 11
Do not support the Proposal/other – 10

Summary of Comments supporting the proposal

- Need more housing types like this
- Nice design and layout
- Support with suggestion for additional parking
- 2 comments with suggestion for a light at 236th Street & Dewdney Trunk, increased traffic concerns
- 2 comments to address safety at the intersection of 236th Street and 119th suggestion of a 4 way stop and crosswalks
- Support for more density proposal seen as not dense enough
- Need more supply and housing for young families
- Site Plan is great, more options for my kids to live near me

Summary of Comments not supporting the proposal

- Light needed at 236th Street and Dewdney, stop sign needed at 219th
- Second access onto 236th Street desired
- City should change bylaws to say that residents must park in the complex and not in the street in their garages not use for storage
- Traffic issues, crosswalk needed with lights at 236th and 119th.
- Left turning lane needed at Dewdney and 236th Street
- New school, daycares, doctors needed for this development
- Too many units, too high density
- Overflow parking will be on 236th Street Parking should be paid permit parking on street like other cities
- Concerns for pedestrian safety
- Construction disruption

Summary of how issues and concerns will be addressed

Given that the general nature of the concerns were related to traffic, a traffic study has been commissioned to analyze the traffic generated from the development. The study will also look at the design of the access to the development from 236th Street and impacts downstream on intersections. The results of the study will inform any potential changes to the design in consultation with City staff.

Kunwar Bir Singh Alvair Development Ltd. March 6, 2023



City of Maple Ridge 11995 Haney Place Maple Ridge, BC V2X 6A9

Attention: Rene Tardif

Dear Ms. Tardif:

Re:

File:

2022-034-RZ

Legal:

Lot: 45, Section: 16, Township: 12, Plan: NWP20770 Lot: 46, Section: 16, Township: 12, Plan: NWP20770

Lot: 46, Section: 16, Township: 12, Plan: NWP20770 Lot: 48, Section: 16, Township: 12, Plan: NWP20770 Lot: 3, Section: 16, Township: 12, Plan: NWP10361

Location:

11956, 11946, 11936 and 11926 236 Street and 23638 Dewdney

Trunk Road

From:

RS-3 (Single Detached Rural Residential)

To:

RM-1 (Low Density Townhouse Residential), R-2 Single Detached

(Medium Density) Urban Residential

The proposed application would affect the student population for the catchment areas currently served by Alexander Robinson Elementary and Garibaldi Secondary School.

Alexander Robinson Elementary has an operating capacity of 471 students. For the 2022-23 school year the student enrolment at Alexander Robinson Elementary is 539 students (114% utilization) including 146 students from out of catchment.

Garibaldi Secondary School has an operating capacity of 1050 students. For the 2022-23 school year the student enrolment at Garibaldi Secondary School is 973 students (93% utilization) including 267 students from out of catchment.

Based on the density estimates for the various land uses at build out the following would apply:

- For 52 units of townhouse housing, the estimated number of school age residents is 22
- For a three-lot subdivision, the estimated number of school age residents is 2

Sincerely,

Flavia Coughlan Secretary Treasurer

The Board of Education of School District No. 42 (Maple Ridge - Pitt Meadows)

cc:

Louie Girotto, Director, Facilities

Maryam Fallahi, Manager, Facilities Planning David Vandergugten, Assistant Superintendent